

Article 27-1800. East Billings Urban Revitalization District Code

Sec. 27-1815 Landscape Standards

The following landscape requirements apply to all EBURD districts. Refer to BMCC Sec. 27-1802.

(a) General Compliance. Application of this section to existing Uses shall occur with the following developments.

- (1) The expansion of more than thirty (30) percent of the surface area of an existing parking lot or loading facility, including any associated driveways.
- (2) Alteration to an existing Principal or Accessory Structure that results in a change of fifteen (15) percent or more in the structure's Gross Floor Area.
- (3) When compliance is triggered for existing parking lots, landscape improvements shall take precedence over parking requirements.

(b) General Requirements. Refer to BMCC Sec. 27-1100 for all landscape requirements, including but not limited to the approval process, materials, installation, and maintenance. However, the EBURD specific standards in this section 27-1815 supercede the requirements of subsections 27-1105 and 27-1106.

(c) Landscape Area Vegetation. All unpaved areas shall be covered by one of the following.

- (1) Planting Beds.
 - a. Planting beds may include shrubs, ornamental grasses, ground cover, vines, annuals, or perennials.
 - b. Nonliving materials, such as rocks, gravel, cobbles, pine straw, or mulch, are permitted for up to fifty (50) percent of a bed area.
 - c. Annual beds must be maintained seasonally, replanting as necessary.
- (2) Grass. Seeded, plugged, or sodded grass may be planted throughout landscaped areas, established within ninety (90) days of planting or the area must be reseeded, replugged, or resodded.

(d) Permeable Surface. For each tree preserved or planted, a minimum amount of permeable surface area is recommended, unless otherwise stated in this article.

- (1) Preserved trees should have a permeable surface area equal to the critical root zone. The critical root zone is equal to half of the

radius of the tree's mature canopy, measured from the trunk out to the dripline.

- (2) Planted trees have a suggested minimum permeable area and soil volume based upon tree size; refer to Table 27-1815-1 for details.
- (3) Permeable area for one tree cannot count toward that of another tree.
- (4) Structural Soil. When the critical root zone of an existing tree or the suggested permeable surface area requirement of a newly planted tree extends below any pavement, structural soil is required underneath the pavement.

(e) Street Trees. All new developments or redevelopments shall include the installation of street trees per BMCC Sec. 27-1817 Street Types. The following standards apply to the installation of street trees.

- (1) Clear Branch Height. Minimum clear branch height is eight (8) feet.
- (2) Permitted Street Tree Type. Deciduous Shade and Ornamental Trees per the City of Billings Recommended Plant List are permitted to be installed as street trees. Refer to the current edition of The City of Billings Standard Modifications to the Montana Public Works Standard Specifications for Plant List and other installation specifications. Refer to BMCC Sec. 25-208 for tree species prohibited in the public right-of-way.
- (3) Street Tree Spacing. Street trees shall be planted as follows.
 - a. Each Lot is required to have one (1) tree for every forty (40) feet of street frontage with a minimum of one (1) street tree per street frontage.
 - b. Spacing.
 - i. Shade trees must be spaced a minimum of thirty (30) and a maximum of sixty (60) feet on center.
 - ii. Ornamental trees must be spaced a minimum of twenty (20) and a maximum of forty (40) feet on center.

Tree Type	Soil Volume (cubic ft)	Soil Surface Area (sq ft) with 2.5' Soil Depth	Permeable Surface Area Requirement (sq ft)
	2852	1141 (approx. 34' x 34')	225 (15' x 15')
Shade	6532	2681 (approx. 50' x 50')	400 (20' x 20')

Table 27-1815-1. Minimum Recommended Soil Volumes and Permeable Area per Planted Tree.

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- iii. The location of trees shall take into account the location of signs, wherever it is feasible, so as to not block the view for motorists and still meet the intent of this section.
- c. Limited Distance from Curb and Sidewalk. Where the distance from the back of the curb to the edge of the Right-of-Way or Lot line is less than nine (9) feet with a sidewalk, Applicant shall work with the City Forester to determine the appropriate tree species. The Zoning Coordinator may waive the street tree requirement in spaces less than nine (9) feet.
- (4) Tree Wells. Where the sidewalk extends from the back of curb to the Lot line, tree wells shall be utilized.
 - a. For tree wells adjacent to sidewalks five (5) feet wide or less, an open pit is not permitted.
 - i. The opening must be covered with a tree grate or pervious pavement.
 - ii. The opening in a tree grate for the trunk must be expandable.
- (f) Landscape Area Requirements. These standards apply to all development except single family residential.
 - (1) Tree Requirements. One (1) evergreen, ornamental or shade tree is required for every two thousand five hundred (2,500) square feet of Landscape Area.
 - a. Existing Tree Canopy may be utilized to meet this requirement.
 - b. If less than 2,500 square feet of Landscape Area exists, tree plantings are not required.
 - (2) Planting Bed Requirements. A minimum of forty (40) percent of the Landscape Area of Front and Corner Side Yards not already designated as a frontage or side and rear buffer (refer to BMCC Sec. 27-1815) must be planting beds (refer to BMCC Sec. 27-1815(b)).
- (f) Fences & Walls. These standards apply to all lots in all EBURD Districts. Fences and walls must adhere to the following standards.
 - (1) Height. The maximum height of any fence or wall shall be six (6) feet measured from the ground at the base of the fence or wall to the top of the fence boards or wall.
 - a. Posts, decorative columns, light fixtures, or other decorative details are permitted to exceed the height limit by up to two (2) foot.
 - b. Fences over four (4) feet in height are not permitted in the front yard.
- c. In the Central Works, the maximum height of any fence or wall shall be eight (8) feet.
- d. In the Industrial Sanctuary, height limits do not apply.

- (2) Location. All fences and walls must be located within a lot's lot lines.
- (3) Materials.
- a. Permitted Materials. Brick; stone; cast stone; wood; painted, matte finish vinyl; wood composites; or steel are permitted fence and wall materials.
- b. Prohibited Materials. Barbed wire, chain link, exposed cinder or concrete block, metal mesh, and razor wire and single wire fences and wall are prohibited with the following exceptions.
 - i. In the Industrial Sanctuary districts, chain link, razor wire, and barbed wire fencing are permitted. Sharp fencing must be located 8' above grade.
- (4) Opacity. Fences along the Front Yard or Front Lot line shall have a maximum opacity of fifty (50) percent.

- (g) Buffers. Landscape buffers are required according to the provisions in this section with the following exceptions.
 - (1) Shared Driveways. Buffers shall not be required along a lot line where a curb cut or aisle is shared between two adjoining lots.
 - (2) Points of Access. Buffering is not required at driveways or other points of access to a lot.

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(h) Frontage Buffer Requirements

(refer to Figure 27-1815-1)

(1) Intent & Applicability

Intent	To lessen the visual impact of vehicular areas & outdoor storage visible from the street
General Applicability	Applies to Frontage Types where a vehicular area or outdoor storage is located adjacent to a Right-of-Way
Exceptions	Vehicular areas along alleys, except when a residential district is located across the alley; Single and two family residences

(2) Buffer Depth & Location¹

Depth	7'	1
Location on the Site	Between street facing Lot line and parking area ²	2

(3) Buffer Landscape Requirements

Uses & Materials	Uses and materials other than those indicated are prohibited in the buffer
Shade Trees	Medium or large shade tree required at least every 40'; Locate on the street side of the fence; Spacing should alternate with street trees
Hedge	Required continuous hedge on street side of fence, between shade trees & in front of vehicular areas
Hedge Composition	Individual shrubs with a minimum width of 24", spaced no more than 36" on center
Existing Vegetation	May be credited toward buffer area
(4) Fence	
Location	2' from back of curb of vehicular area
Materials	Steel or painted, matte finish PVC; Masonry columns (maximum width 2'6") and base (maximum 18" height) permitted
Minimum Height	3'
Maximum Height	4'
Colors	Black, gray, or dark green
Opacity	Minimum 20%; Maximum 60%
Gate/Opening	One gate permitted per street frontage; Opening width maximum 6'

Notes:

¹This screening requirement does not prohibit the installation of or provision for openings necessary for allowable access drives and walkways connecting to the public sidewalk.

²In front, corner, and rear yards on a through lot, when the parking area is located adjacent to any building on the lot, the buffer must be located so that it aligns with or is behind the face of the adjacent building back to the vehicular area. The area between the buffer and the lot line must be landscaped.

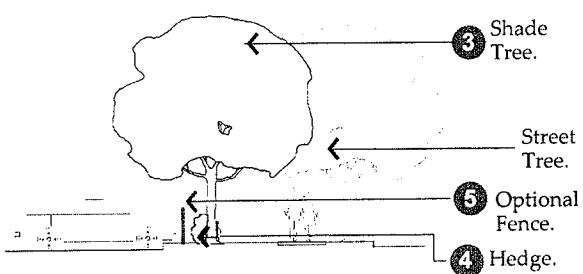
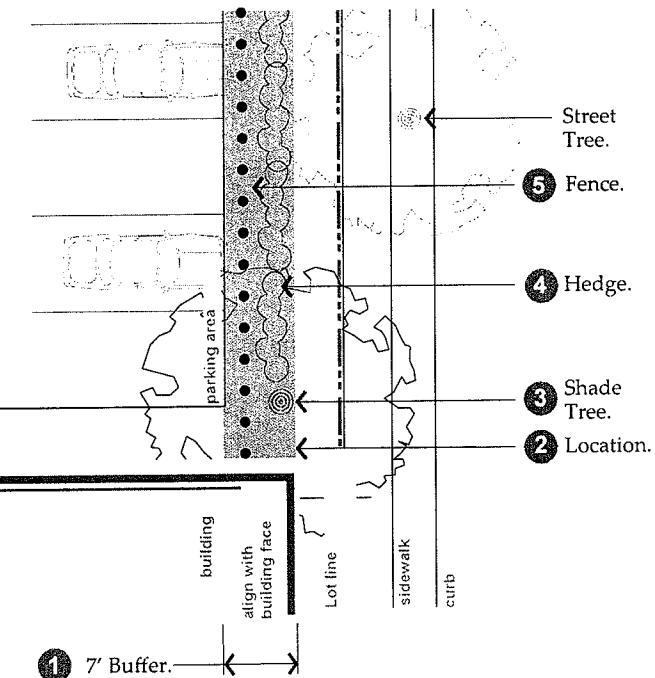


Figure 27-1815-1. Frontage Buffer Plan and Section.

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(i) Interior Parking Lot Landscaping Requirements (refer to

Figure 27-1815-2)

(1) Intent & Applicability

Intent	To provide shade, minimize paving & associated stormwater runoff, & improve the aesthetic look of parking lots
General Applicability	All open-air, off-street parking lots ¹
Other Internal Parking Lot Areas	Internal areas not dedicated to parking or drives shall be landscaped with a minimum of one medium or large shade tree for the first 150 square feet and one medium or large shade tree for every 650' thereafter
Existing Vegetation	Existing vegetation may be credited toward these requirements

(2) Landscape Island Requirements

Required Island Locations	Terminal ends ² of free standing rows or bays of parking; After every ninth parking space for rows of parking greater than 10 spaces in length ³
Minimum Width	5'; Islands less than 15' must utilize structural soil under any paved surface within a tree's recommended permeable surface area requirement (per Table 27-1815-1); Islands under 9' must install an aeration system and utilize permeable pavement
Required Trees Within Islands	Minimum of 1 medium or large shade tree per island

(3) Tree Requirements

Requirements per Parking Space ³	Each parking space must be located within 50' of a tree planted within parking lot interior; and no more than 8 continuous parking spaces in a row are permitted without a landscape island
	Minimum of 1 shade tree must be planted within parking lot interior or within 4' of parking lot's edge for every 3 parking spaces
Tree Shade	Within 20 years of tree installation, 30% of the interior of the parking lot must be shaded by tree canopy

Notes:

¹ Parking lot interior is defined as the area dedicated to parking on a given parcel as measured from the farthest edge of pavement to opposing farthest edge of pavement.

² Freestanding rows or bays of parking are those not abutting the parking lot perimeter or building face, and may have a single or double row of parking.

³ Trees within a designated buffer area may not be utilized to meet these requirements. Trees and landscaping located outside of the parking lot interior, including in the side and rear buffer or frontage buffer, may not be applied to this requirement.

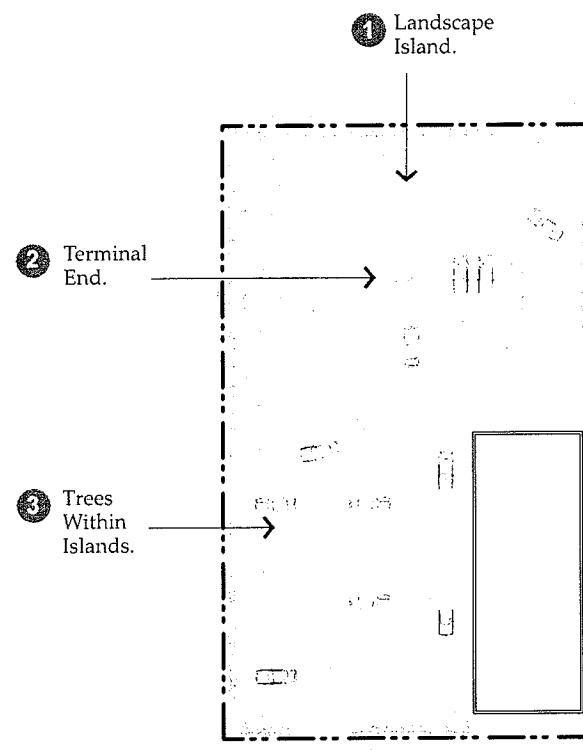


Figure 27-1815-2. Interior Parking Lot Landscaping.

Tree Size	Estimated Canopy at Maturity (sq ft)	Estimated Height at Maturity (ft)
Very Small	150	under 15'
Small	400	15'-25'
Medium	900	25'-40'
Large	1600	40'+

Table 27-1815-3. Estimated Canopy and Height at Maturity.

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(j) Side & Rear Buffer Requirements

(refer to Figure 27-1815-3)

A. Intent & Applicability

Intent	To minimize the impact that one building may have on a neighboring district and to provide a transition between districts
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General	Applies to all directly adjoining properties as outlined in Table 27-1815-4 ¹
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B. Required Landscape Screen

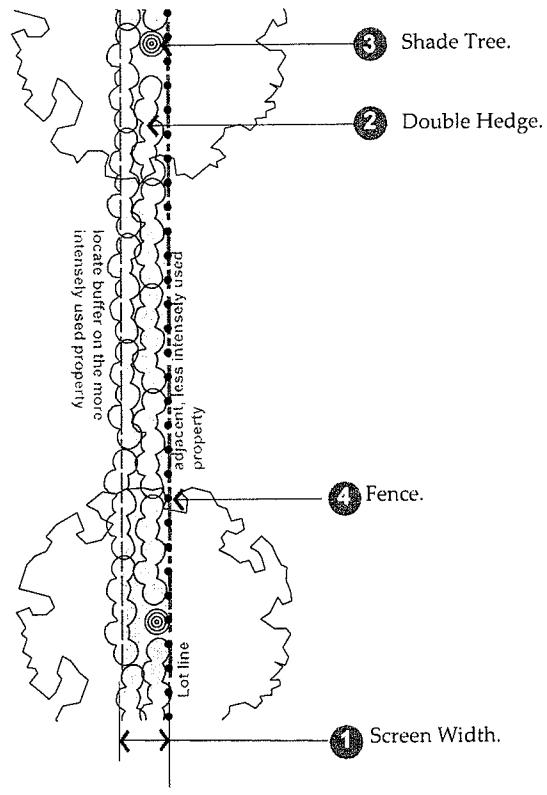
Size	5' landscape screen in addition to any other buffer landscaping	①
Location	Directly adjacent to the Rear or Side Lot line per Table 27-1815-2	
Hedge	Continuous double row of shrubs required between shade trees	②
Hedge Composition	Double row of individual shrubs with a minimum width of 24", spaced no more than 36" on center; Mature height in one year of 24"	
Hedge Frequency	Minimum of 15 shrubs per 100' of Lot line is required	
Shade Trees	At least 1 medium or large shade tree per every 40' within the buffer	③
Uses and Materials	Uses and materials other than those indicated are prohibited within the buffer	
Existing Vegetation	May be credited toward buffer area	

C. Required Fence

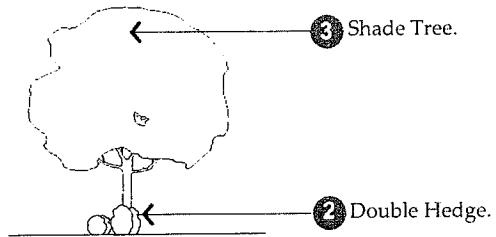
Permitted Materials	Steel or painted, matte finish PVC for semi-opaque; Wood or masonry for opaque. Chain link not permitted.
Minimum Height	6'
Maximum Height	8'
Colors	If steel: black, gray, or dark green
Opacity	Option 1: Semi-Opaque 20%-60% opacity, hedge required; Option 2: Opaque fence, no hedge required

Notes:

¹Zoning Coordinator may reduce width of buffer, width of landscape screen, or location of landscape screen based on existing landscaping and similarity between uses.



Landscape Screen Plan.



Landscape Screen Section.

Figure 27-1815-3. Landscape Screen within Side & Rear Buffer.

Frontage Types		Buffer	
Buffer Required on Lot	When Lot Line is adjacent to:	Buffer Required	Buffer Width
Open, Commerce, Limited Bay	Yard, General Stoop, Storefront	Side & Rear	5'
General Stoop	Yard	Side Rear	5'

Table 27-1815-4. Side & Rear Buffer Requirements by District.

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(k) Commercial Patio Frontage

(refer to Figure 27-1815-4)

(1) Intent & Applicability

Intent	To provide a buffer between outdoor sales uses and street activity
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General Applicability	Applies to Commercial Outdoor Site Frontage Type only (refer to BMCC Sec. 27-1813(h))
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(2) Frontage Location

Minimum Depth	7'
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Location on the Site	Between 5' and 20' from Front and Corner Side Lot line adjacent to patio/ display area
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(3) Buffer Landscape Requirements¹

Shade Trees	Medium or large shade tree required at least every 40'; Spacing should alternate with street trees ²
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Shrubs	Required continuous shrubs on street side of fence
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Hedge Composition	Individual shrubs with a minimum width and height of 12", spaced no more than 24" on center
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Existing Vegetation	May be credited toward buffer area
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D. Required Fence

Materials	Steel or painted, matte finish PVC; Masonry base or columns permitted
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Minimum Height	18"
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Maximum Height	4'
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Colors	Black, gray, or dark green for steel or PVC
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Opacity ³	Minimum 30 percent; Maximum 60%
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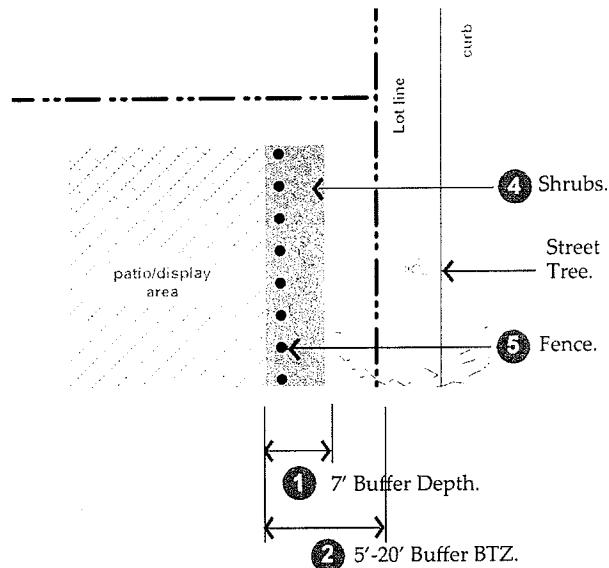
Gate/Opening	Two gates permitted per street frontage; Opening width maximum 6'
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Notes:

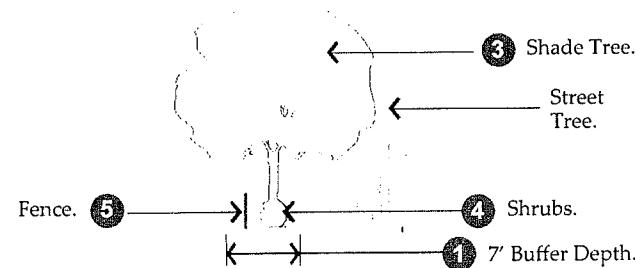
¹ This screening requirement does not prohibit the installation of or provision for openings necessary for allowable access drives and walkways connecting to the public sidewalk.

² Exception: Trees for Automobile Sales Use may be spaced 90' on center

³ Fence may be solid if 30" or less in height



Commercial Patio Frontage Plan.



Commercial Patio Frontage Section.

Figure 27-1815-4. Commercial Patio Frontage Plan and Section.

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(I) Screening of Open Storage, Refuse Areas, & Utility Appurtenances (refer to Figure 27-1815-5)

A. Intent & Applicability

Intent To reduce the visibility of open storage, refuse areas, and utility appurtenances from public areas and adjacent properties

General All dumpsters, open storage, refuse areas, and utility appurtenances

B. Open Storage & Refuse Area Screening Requirements¹

Location on the Site	Not permitted in Front or Corner Side Yards
Opaque Screen Wall¹	Required around 3 sides of the dumpster and trash bin area 
Screen Wall Height	Height shall be the higher of the following: 1. 6' 2. Height of use to be screened 3. Height as determined by the Zoning Coordinator to accomplish objective of the screen 
Visible Openings	Openings visible from the public way or adjacent properties must be furnished with opaque gates 
Landscape Requirement	If refuse area is located within larger paved area, such as a parking lot, landscape islands must be located on 3 sides of the area, with at least 1 medium or large shade tree in at least 1 of the landscape areas ² 

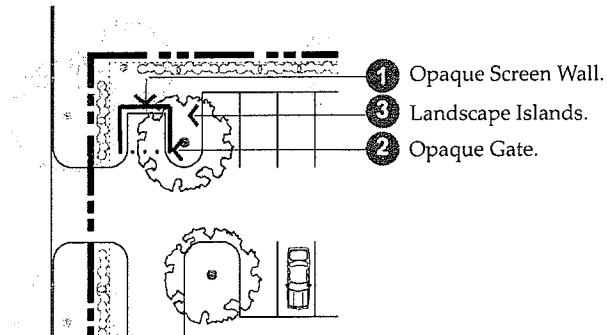


Figure 27-1815-5. Screening of Open Storage & Refuse Areas.

C. Utility Appurtenance Screening Requirements

Large Private Mechanical Equipment³	Shall be fenced with opaque wood or brick-faced masonry on all sides facing Right-of-Way
Small Private Mechanical Equipment⁴	Shall have landscape screening and a shrub bed containing shrubs spaced no more than 36" on center

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Sec. 27-1816 Signage

Refer to BMCC Sec. 27-700 for sign requirements. The following additional requirements are specific to the EBURD and replaces information in the BMCC Sec. 27-705.

(a) Intent. Commerce is the primary purpose, function and goal of the EBURD. It is the economic engine that funds the City of Billings and Yellowstone County. The functions of signs are to support and enhance that purpose. Regardless of other considerations, the ability of a business to thrive in any given location is the final measure of appropriateness. In a community of our size serving a broad market including Montana, Wyoming and parts of North Dakota, and in a time of growing online commerce, it is increasingly necessary that a business must be able to reach beyond the immediate neighborhood to survive. The ways traffic moves through districts is the most reliable indicator of sign needs and the assurance of success of this purpose. The Billings Industrial Revitalization District Inc. ("BIRD") is the organization that oversees the EBURD and makes recommendations to the City Council.

(b) The following revises BMCC Sec. 27-706 to incorporate the EBURD.

- (1) Service station and convenience store signage shall adhere to the requirements of this section, BMCC Sec. 27-1816 (b) through (o). BMCC Sec. 27-706(a) does not apply to the EBURD.
- (2) Billboards shall be permitted only on Boulevards or Avenues within the EBURD (Montana Avenue, 1st Avenue N, 4th Avenue N, 6th Avenue N, and N 13th Street) . All other requirements of BMCC Sec. 27-706(b) shall apply, including the requirements of the existing moratorium.
- (3) BMCC Sec. 27-706(c) Shopping center or mall signs does not apply to the EBURD.
- (4) BMCC Sec. 27-706(e) Church, school, and other institutional use signs does not apply to the EBURD. Churches, schools, and other institutions shall adhere to the requirements of this section, BMCC Sec. 27-1816 (b) through (o).
- (5) All signs that predate the adoption of this code are legally non conforming until they are completely replaced. At that point, the standards contained within are applicable.

		EBURD Frontage Types							
		Yard Frontage	General Stoop	Storefront	Limited Bay	Commerce	Open	Civic	Outdoor Site
Sign Types	Wall	●	●	●	●	●	●	●	●
	Projecting		●	●	●	●	●	●	●
	Awning	●	●	●	●	●	●	●	●
	Canopy Mounted		●	●	●	●	●	●	●
	Window			●	●	●	●		●
	Monument	●	●		●	●	●	●	●
	Ped. Scale Pole-Mounted	●	●		●	●	●	●	●
	Pole-Mounted					●	●		○
	● = Permitted	○ = Permitted Only on Boulevard Street Type							

Table 27-1816-1. Sign Types permitted by Frontage Type.

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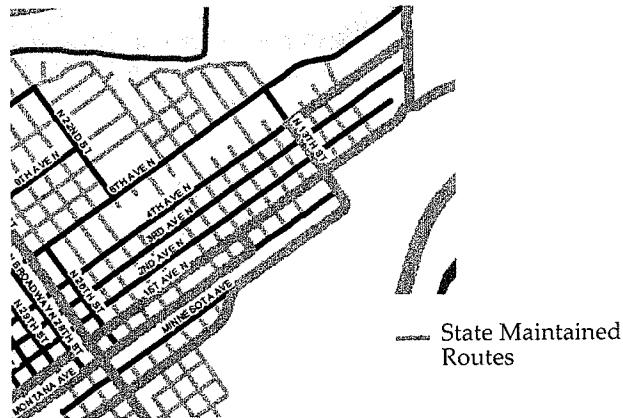


Figure 27-1816(e)-1. Map of State Maintained Routes as of February 2012, for Reference Only.

Frontage Type	Maximum Permitted Quantity of Signage Per Lot
Yard	65 square feet of signage except residential signage (refer to BMCC Sec. 27-1816(c)).
General	3 square feet of signage per 1 linear foot of Lot width with a maximum of 150 square feet
Storefront	3 square feet of signage per 1 linear foot of Lot width with a maximum of 150 square feet
Limited Bay	3 square feet of signage per 1 linear foot of Lot width with a maximum of 200 square feet. An additional 40 square feet per additional tenant over 3 tenants permitted
Commerce	3 square feet of signage per 1 linear foot of lot width with a maximum of 150 square feet
Open	3 square feet of signage per 1 linear foot of lot width with a maximum of 150 square feet
Civic	3 square feet of signage per 1 linear foot of lot width with a maximum of 150 square feet

Table 27-1816-2. Total Maximum Permitted Quantity of Signage per Lot by Frontage Type.

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(g) Wall Sign.

- (1) Description. Wall signs, also known as flat or band signs, are mounted directly to the building face to which the sign is parallel. Refer to Figures 27-1816(g)-1 and 27-1816(g)-2.
- (2) General Requirements. Wall signs shall be developed according to the standards in Table 27-1816(g)-1.
 - a. Building Openings. Wall signs shall not cover windows or other building openings.
 - b. Architectural Features. Wall signs are strongly encouraged not to cover existing architectural building features.
 - c. Murals. Murals, a type of wall sign painted onto the building face displaying the business name or activity, are prohibited on front facades.
- (3) Sign Area is defined as the entire area within any type of perimeter or border which may enclose the outer limits of any writing, representation, emblem, figure or character. The area of the sign having no such perimeter or border shall be computed by enclosing the entire area with parallelograms, triangles or circles of the smallest size sufficient to cover the entire area of the sign and computing the area of

these parallelograms, triangles or circles. The area computed shall be the maximum portion or portions which may be viewed from any one direction

- i. Area Credit. All areas that utilize individual alphanumeric characters or logos (including only those using wood, wood substitute, metal, or masonry) may use a total area of ninety (90) percent of the calculation as outlined above.
- b. Mural Sign. Area is calculated by measuring the area of the smallest square or rectangle that can be drawn around all of the sign elements, including any painted background.

Wall Sign Requirements

Sign Area	No maximum area for sign type; Refer to Table 27-1816-2 for maximum per lot
Height	No maximum letter or element height
Location on the Building or Site	Permitted on all street facades; Non-illuminated wall signs are permitted on all facades.
Placement on the Building or Site	1' maximum projection from building face
Quantity	1 per tenant per public ROW frontage; 1 per tenant per side or rear facade on a parking lot
Internal Illumination	Permitted
Materials	Solid wood, metal, masonry & neon glass; Plastic & synthetics permitted only as separate alphanumeric characters or logos

Table 27-1816(g)-1. Wall Sign Requirements.

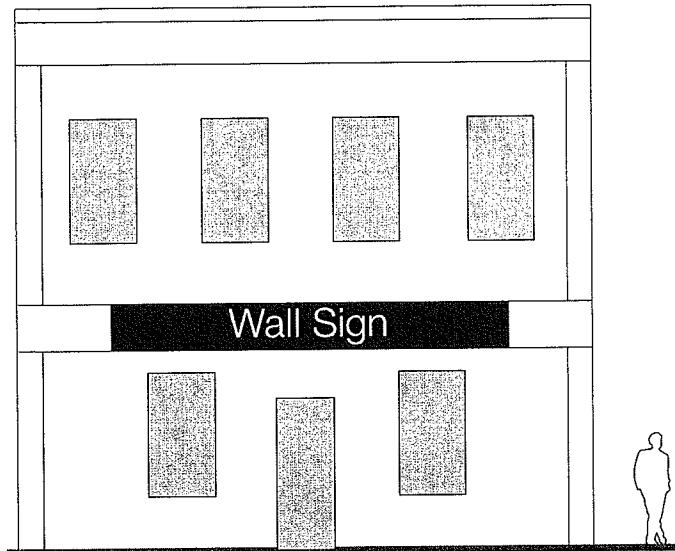


Figure 27-1816(g)-1. Wall Sign.



Figure 27-1816(g)-2. Measuring Wall Signs.

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(h) Projecting Sign.

- (1) Description. A projecting sign is attached to and projects from a building face or hangs from a support structure attached to the building face. Sign faces are typically perpendicular to the building face, but may be at an angle greater than forty-five (45) degrees from the facade. The sign may be vertically or horizontally oriented. Refer to Figure 27-1816(h)-1.
- (2) General Requirements. Projecting signs shall be developed according to the standards in Table 27-1816(h)-1.
- (3) Computation. The area of a projecting sign is equal to the area of one (1) of the sign's faces.
- (4) Permit Required. An encroachment permit shall be obtained from the City Engineering Department for any projecting sign encroaching into the public right-of-way.

Projecting Sign Requirements	
Sign Area	No maximum area for sign type; Refer to Table 27-1816-2 for maximum per lot
Height	8' maximum sign length, 9' minimum clearance to walk required
Location on the Building or Site	Permitted on all facades; sign and structural supports shall not extend above the eave or parapet
Placement on the Building or Site	Shall not project over more than 2/3 the width of the sidewalk. (Refer to BMCC Sec. 27-1816(h)(4) for required permit)
Quantity	1 per tenant per public ROW frontage; 1 per tenant per side or rear facade on a parking lot
Internal Illumination	Permitted
Materials	Solid wood, metal, masonry & neon glass; Plastic & synthetics permitted only as separate alphanumeric characters or logos

Table 27-1816(h)-1. Projecting Sign Requirements.

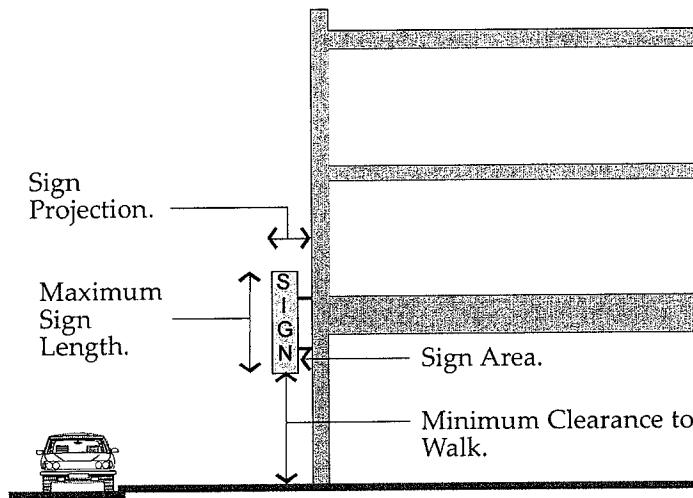


Figure 27-1816(h)-1. Projecting Sign.

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(i) Awning Sign.

- (1) Description. A sign that is mounted, painted, or otherwise applied on or attached to an awning or canopy. Refer to Figures 27-1816(i)-1 and 27-1816(i)-2.
- (2) General Requirements. Awning signs shall be developed according to the standards in Table 27-1816(i)-1.
- (3) Sign Area. Defined as the entire area within any type of perimeter or border which may enclose the outer limits of any writing, representation, emblem, figure or character. The area of the sign having no such perimeter or border shall be computed by enclosing the entire area with parallelograms, triangles or circles of the smallest size sufficient to cover the entire area of the sign and computing the area of these parallelograms, triangles or circles. The area computed shall be the maximum portion or portions which may be viewed from any one direction.
- (4) Permit Required. An encroachment permit shall be obtained from the City Engineering Department for any projecting sign encroaching into the public right-of-way.

Awning Sign Requirements

Sign Area	Up to 50% of the awning may be used for signage; Refer to Table 27-1816-2 for maximum per lot
Height	8' minimum clearance to walk required
Location on the Building or Site	Permitted on all facades
Placement on the Building or Site	Maximum projection from building is 6'; Shall not project closer than 2' from back of curb; Shall not block any window, door, or the roof design. (Refer to BMCC Sec. 27-1816(i)(4) for permit)
Quantity	1 per tenant per public ROW frontage; 1 per tenant per side or rear facade on a parking lot
Internal Illumination	Not permitted
Materials	Cloth, canvas, metal, or wood; All supports shall be made of metal or wood

Table 27-1816(i)-1. Awning Sign Requirements.

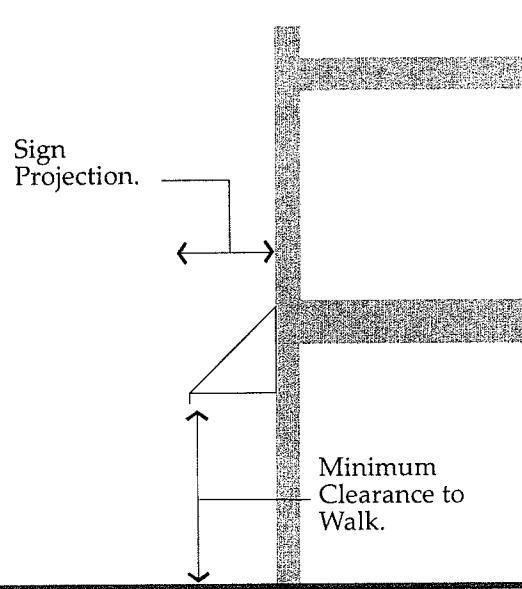


Figure 27-1816(i)-1. Awning Sign.

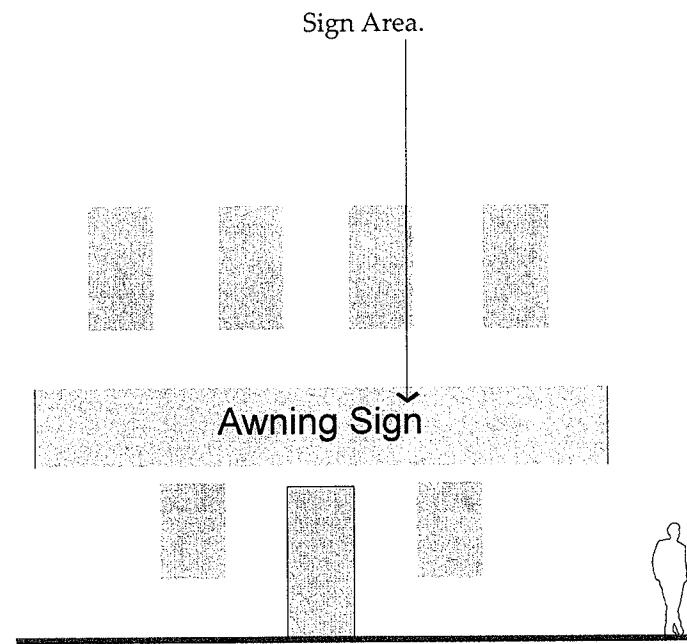


Figure 27-1816(i)-2. Measuring Awning Signs.

Article 27-1800. East Billings Urban Revitalization District Code

(j) Canopy-Mounted Sign.

(1) Description. A sign with individual alphanumeric characters and/or logos that is mounted on top of a permanent canopy. Refer to Figures 27-1816(j)-1 and 27-1816(j)-2.

(2) General Requirements. Canopy-mounted signs shall be developed according to the standards in Table 27-1816(j)-1.

(3) Sign Area is defined as the entire area within any type of perimeter or border which may enclose the outer limits of any writing, representation, emblem, figure or character. The area of the sign having no such perimeter or border shall be computed by enclosing the entire area with parallelograms, triangles or circles of the smallest size sufficient to cover the entire area of the sign and computing the area of these parallelograms, triangles or circles. The area computed shall be the maximum portion or portions which may be viewed from any one direction

(4) Permit Required. An encroachment permit shall be obtained from the City Engineering Department for any projecting sign encroaching into the public right-of-way.

Canopy-Mounted Sign Requirements

Sign Area	No maximum area for sign type; Refer to Table 2.7-1816-2 for maximum per lot
Height	No maximum letter or element height; Cannot project more than 2' above roof line of canopy
Location on the Building or Site	Permitted on all facades
Placement on the Building or Site	Shall not block any window, door, or the roof design. (Refer to BMCC Sec. 27-1816(j)(4) for permit)
Quantity	1 per tenant per public ROW frontage; 1 per tenant per side or rear facade on a parking lot
Internal Illumination	Permitted
Materials	Solid wood, metal, & neon glass; Plastic & synthetics permitted only as separate alphanumeric characters or logos

Table 27-1816(j)-1. Canopy-Mounted Sign Requirements.

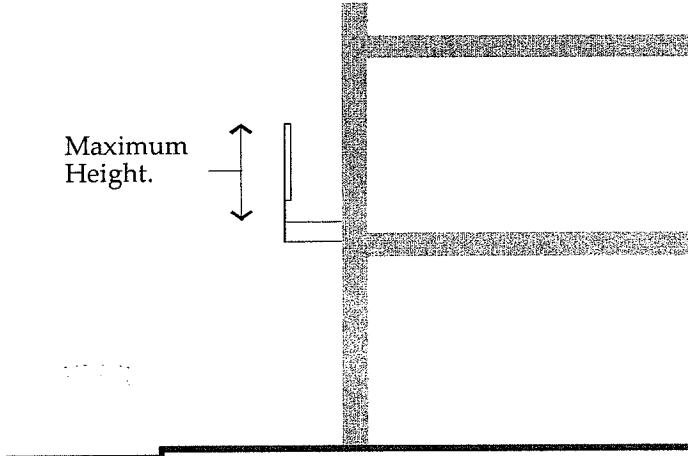


Figure 27-1816(j)-1. Canopy-Mounted Sign.

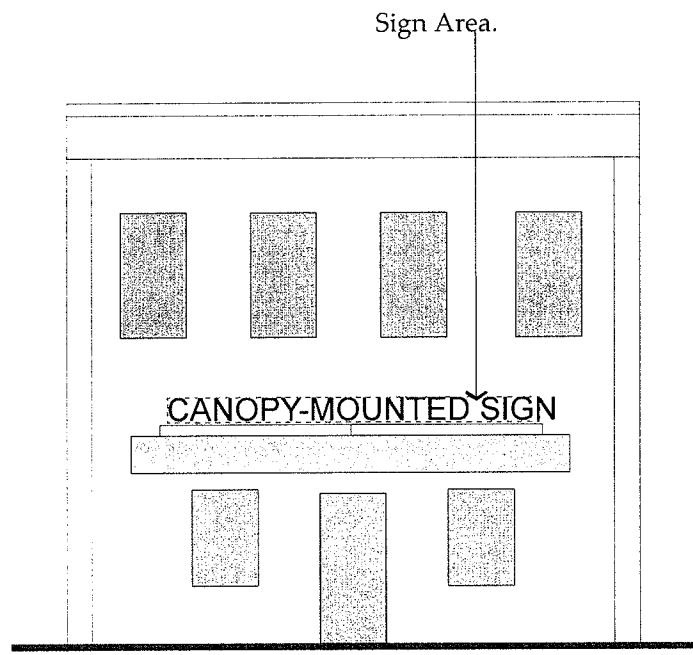


Figure 27-1816(j)-2. Measuring Canopy-Mounted Signs.

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(k) Window Sign.

- (1) Description. A window sign is posted, painted, placed, or affixed in or on a window exposed for public view or is a sign hung inside the building facing the window for public view. Refer to Figure 27-1816(k)-1.
- (2) General Requirements. Window signs shall be developed according to the standards in Table 27-1816(k)-1.
- (3) Computation. A series of windows that are separated by frames or supporting material of less than six (6) inches in width shall be considered a single window for the purposes of computation.
 - a. Measurement. To measure sign area percentage, divide the total sign area by the total window area, as illustrated in Figure 27-1816(k)-1.
 - b. Maximum Allowance. Window signs are not counted toward a site's maximum signage allowance.
 - c. Exempt signs. Address and hours of operation are considered exempt signs and are not counted in the window sign area calculation. Refer to BMCC Sec. 27-707(b) Exempt signs, with the exception of BMCC Sec. 27-707(b)(23).
 - d. Temporary Window Signs. Temporary window signs must be included in the total percentage of signage per window calculation.
 - e. Window signs may not be internally illuminated except for neon or similar illuminated window signs.

Window Sign Requirements	
Sign Area	Up to 30% of a set of continuous windows may be covered with signage; No more than 50% of any one window panel may be covered with signage
Height	No maximum
Location on the Building or Site	Permitted on all facades
Placement on the Building or Site	Ground or upper story windows; May be affixed to window or hung/mounted behind glass
Quantity	No maximum quantity, based on window sign area for ground story; 1 per tenant per floor for upper stories
Internal Illumination	Not permitted, except on neon or similarly illuminated window signs
Materials	Drawn, painted, or affixed on the glass; Wood, metal, neon glass, plastic, or other similar materials also permitted

Table 27-1816(k)-1. Window Sign Requirements.

Set of Continuous windows, consisting of 3 window Panels.

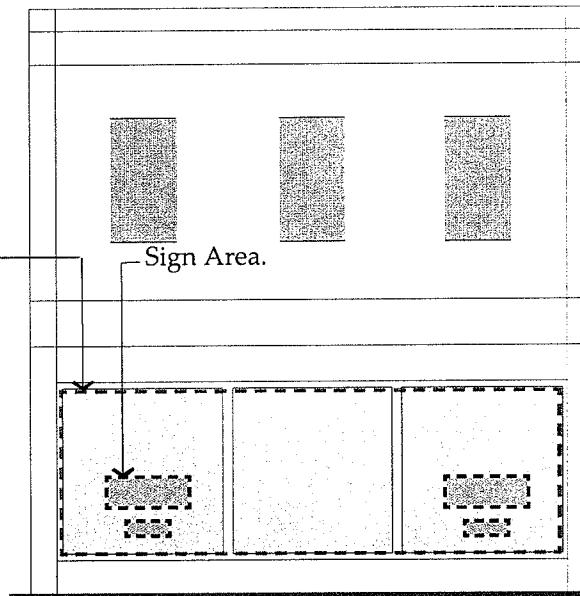


Figure 27-1816(k)-1. Measuring window signs.

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(I) Monument Sign.

- (1) Description. A monument sign is freestanding; it is located in a front or side yard of a lot. Refer to Figures 27-1816(l)-1 and 27-1816(l)-2.
- (2) General Requirements. Monument signs shall be developed according to the standards in Table 27-1816(l)-1.
 - a. Up to two (2) monument signs on one (1) frontage.
 - i. Signs shall be at least one hundred fifty (150) feet apart.
 - b. Display's structure shall be monolithic and fully enclosed.
 - c. Electronic Message Boards. Electronic message boards (EMBs), including such components as light-emitting diodes (LEDs), are permitted on monument signs in the Commerce and Open Frontage Types by-right
 - d. Manually Changeable Copy. The area of any manually changeable copy cannot equal greater than fifty (50) percent of the area of the sign face on which it is located or twenty (20) square feet, whichever is less.
- (3) Sign Area is defined as the entire area within any type of perimeter or border which may enclose the outer limits of any writing, representation, emblem, figure or character. The area of the sign having no such perimeter or border shall be computed by enclosing the entire area with parallelograms, triangles or circles of the smallest size sufficient to cover the entire area of the sign and computing the area of these parallelograms, triangles or circles. The area computed shall be the maximum portion or portions which may be viewed from any one direction
 - a. Measuring Height. Height shall include the sign face, base, cabinet, and ornamental cap.

Monument Sign Requirements	
Sign Area	Maximum 140 sq ft per sign face Refer to Table 27-1816-2 for maximum per lot
Height	Maximum height 7' 9"
Location on the Building or Site	Front or corner yards
Placement on the Building or Site	10' Setback from driveways & side lot line; 3' Setback ¹ from front & corner lot lines
Quantity	1 per public ROW frontage
Internal Illumination	Permitted
Materials	Solid wood, metal & masonry; Plastic & synthetics permitted on sign face; Electronic Message Board permitted in certain districts ²

¹If placed closer than five (5) feet from the front and corner side lot Lines, sign must not be located in a sight triangle extending ten (10) feet from either side of an intersection of a driveway and a vehicular right-of-way or two vehicular rights-of-way.

²Refer to BMCC Sec. 27-1816(d) and 27-1816(l)(2)c for details on Electronic Message Boards

Table 27-1816(l)-1. Monument Sign Requirements.

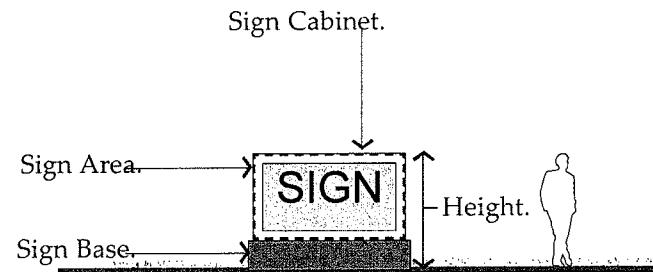


Figure 27-1816(l)-1. Monument Sign.

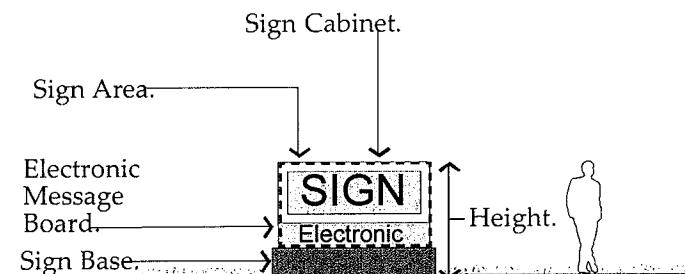


Figure 27-1816(l)-2. Monument Sign with EMB.

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(m) Ped-Scale Pole-Mounted Sign.

(1) Description. A ped-scale pole-mounted sign is freestanding and may be mounted on one or two poles. Three (3) configurations are permitted. Refer to Figure 27-1816(m)-1.

- A sign mounted onto a double set of poles.
- A sign mounted on a single pole.
- A sign hanging from a single pole.

(2) General Requirements. Ped-scale pole-mounted signs shall be developed according to the standards in Table 27-1816(m)-1.

(3) Computation. The area of a pole-mounted sign is equal to the area of one (1) sign face.

Ped-Scale Pole-Mounted Sign Requirements

Sign Area	8 sq ft maximum area per sign face; Refer to Table 27-1816-2 for maximum per lot
Height	8' maximum height for sign mounted or hanging on a single pole; 5' for sign mounted on double set of poles; Each pole shall have a maximum diameter of 3 inches
Location on the Building or Site	Front or Corner Yards
Placement on the Building or Site	2' Setback from Front & Corner lot lines; Cannot overhang lot lines
Quantity	1 per lot
Internal Illumination	Permitted
Materials	Solid wood, metal & masonry; Plastic & synthetics permitted on sign face

Table 27-1816(mk)-1. Ped-Scale Pole-Mounted Sign Requirements.

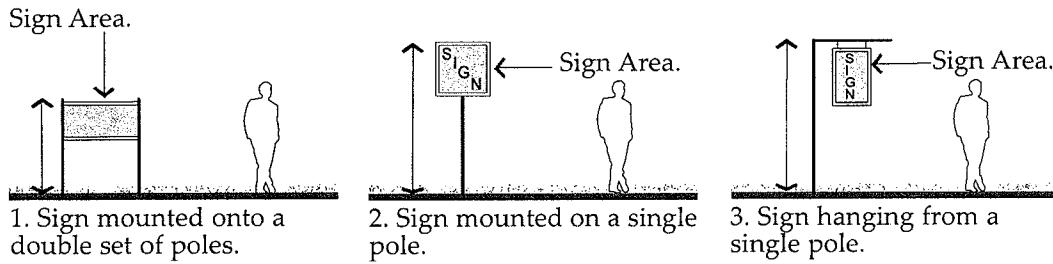


Figure 27-1816(m)-1. Three Types of Ped-Scale Pole-Mounted Signs.

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(n) Pole-Mounted Sign.

(1) Description. A pole-mounted sign is freestanding with a one or two-faced sign panel. Three (3) configurations are permitted. Refer to Figure 27-1816(n)-1.

- A sign mounted onto a double set of poles.
- A sign mounted on a single pole.
- A sign hanging from a single pole.

(2) General Requirements. Pole-mounted signs shall be developed according to the standards in Table 27-1816(n)-1.

- Electronic Message Boards. (Refer to Figure 27-1816(n)-2) Electronic message boards (EMBs), including such components as light-emitting diodes (LEDs), are permitted on pole-mounted signs, provided the following conditions are met:
 - The area of the EMB cannot equal greater than forty (40) percent of the area of the sign face on which it is located.
 - One (1) sign containing an EMB is permitted per lot.
 - Refer to BMCC Sec. 27-1816(d) for additional requirements.
- Manually Changeable Copy. The area of any manually changeable copy cannot equal greater than fifty (50) percent of the area of the sign face on which it is located.
- Special Review. Additional height and sign area, per Table 27-1816(n)-1, may be approved by a Special Review under the following conditions.

- Street. The sign must front on a Boulevard street

(3) Computation. The area of a Pole-Mounted sign is equal to the area of one (1) sign face, including the Electronic Message Board.

Pole-Mounted Sign Requirements

Sign Area	Refer to Table 27-1816-2 for maximum per lot
Height	30' maximum height, not to exceed the height of the principal building
Location on the Building or Site	Front or Corner Yards
Placement on the Building or Site	2' Setback from Front & Corner lot lines; Cannot overhang lot lines
Quantity	1 per lot
Internal Illumination	Permitted
Materials	Solid wood, metal & masonry; Plastic & synthetics permitted on sign face; Electronic Message Board permitted in certain districts ²

¹Refer to BMCC Sec. 27-1816(n)(2)c for Special Review conditions.

²Refer to BMCC Sec. Sec. 27-1816(d) and 27-1816(n)(2)a for details on Electronic Message Boards

Table 27-1816(n)-1. Pole-Mounted Sign Requirements.

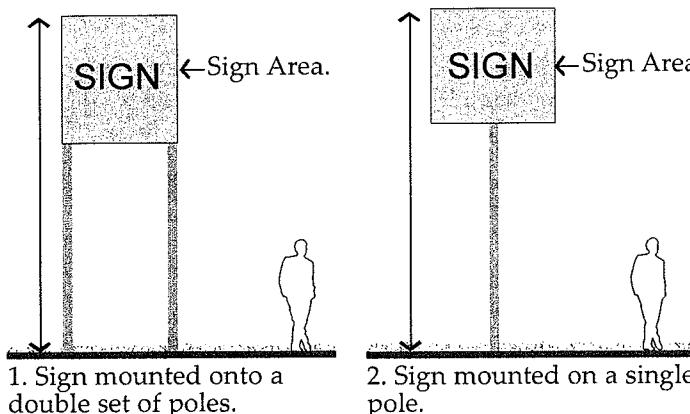


Figure 27-1816(n)-1. Three Types of Pole-Mounted Signs.

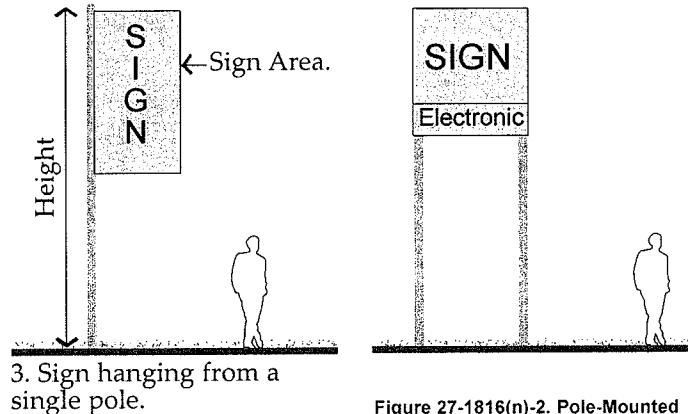


Figure 27-1816(n)-2. Pole-Mounted Sign with EMB.

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(o) Roof Sign

(1). Description. A roof sign consists of individual letters or elements erected on the roof of a building

- Sign projects above the highest point of the roof line or parapet of the building.
- Typically situated parallel to the adjacent street and does not project beyond the front Facade of the building. Refer to Figures 27-1816(o)-1 and 27-1816(o)-2.

B. General Requirements. Roof Signs shall be developed according to the standards in Table 27-1816(o)-1.

C. Sign Area is defined as the entire area within any type of perimeter or border which may enclose the outer limits of any writing, representation, emblem, figure or character. The area of the sign having no such perimeter or border shall be computed by enclosing the entire area with parallelograms, triangles or circles of the smallest size sufficient to cover the entire area of the sign and computing the area of these parallelograms, triangles or circles. The area computed shall be the maximum portion or portions which may be viewed from any one direction.

Roof Sign Requirements	
Sign Area	3 sq ft per 1' building frontage. Refer to Table 27-1816-2 for maximum per lot
Height	Maximum height of letters & elements is 25% of building height.
Location on the Building or Site	Above roof line or parapet.
Placement on the Building or Site	Shall not project beyond the front Facade of the building
Quantity	1 per lot
Illumination	Internal and external illumination permitted.
Materials	Wood, wood substitute, metal, masonry; Plastic & synthetics permitted only as separate alphanumeric characters or logos; Neon glass is permitted provided the neon is not visible from the rear of the sign.

Table 2.5-11(o)-1. Roof Sign Requirements.

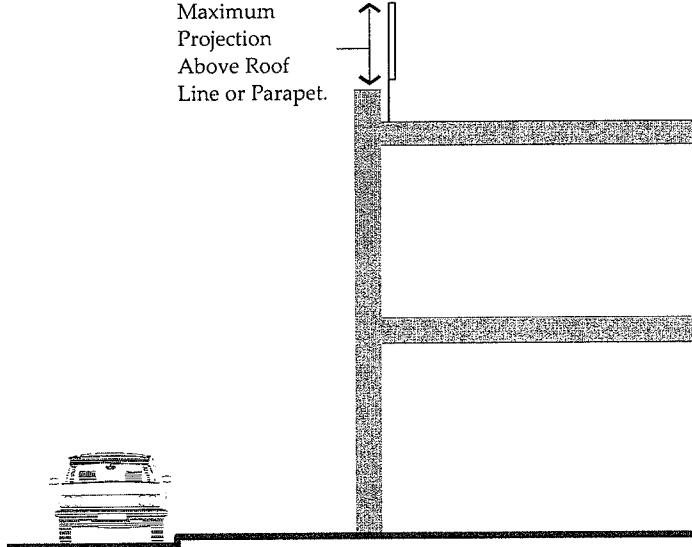


Figure 27-1816(o)-1. Roof Sign.

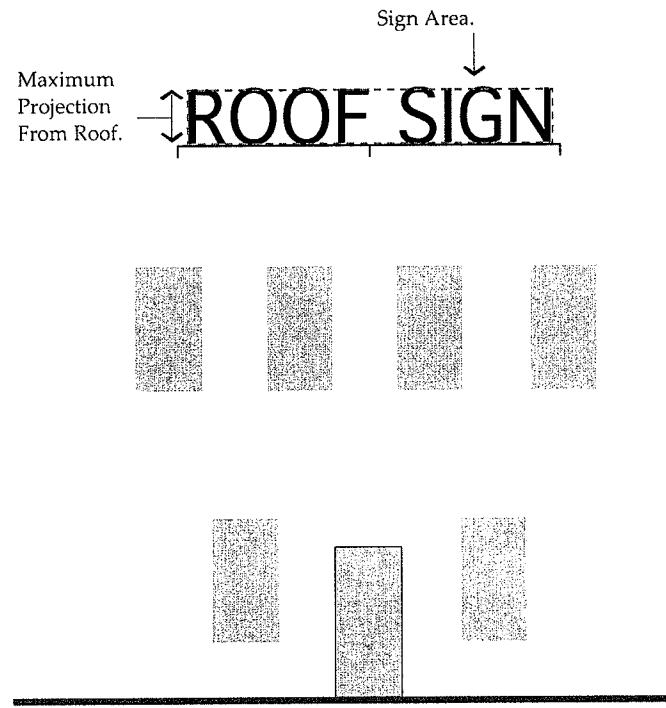


Figure 27-1816(o)-2. Measuring Roof Signs.

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Sec. 27-1817. Street Type Standards.

(a) General Requirements.

- (1) Intent. The standards outlined in this section are intended to:
 - a. Create complete streets that address all modes of travel, including pedestrian traffic, bicycle traffic, transit, and vehicular traffic.
 - b. Address all features of the street right-of-way, including sidewalks, parkways, traffic lanes, bicycle lanes, and medians.
 - c. Continue the existing logical and comprehensible system of streets that result in a simple, consistent and understandable pattern of blocks and lots.
 - d. Provide adequate access to all lots for vehicles and pedestrians.
 - e. Create streets that are appropriate for their contexts in residential, commercial, or mixed use districts and are designed to encourage travel at appropriate volumes and speeds.
- (2) Applicability. The standards in this section apply to all vehicular rights-of-way within the EBURD.
- (3) General Requirements. All proposed streets, landscape or furnishings zones, and sidewalks shall be located in dedicated vehicular rights-of-way as required by this article.
 - a. Street Types. All new vehicular rights-of-way shall match one of the street types, refer to BMCC Sec. 27-1817(g) through

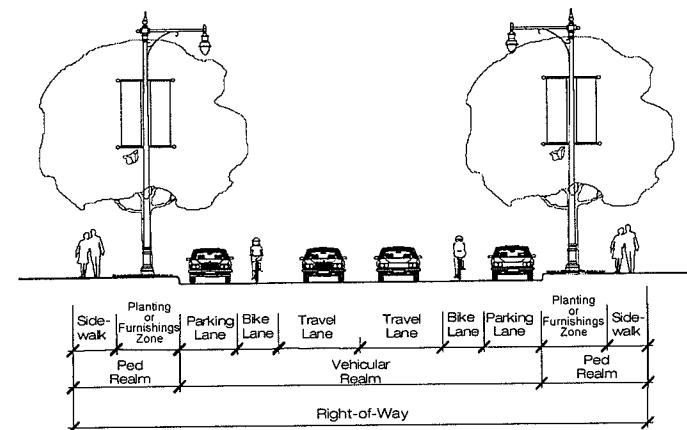


Figure 27-1817(b)-1: Typical Right-of-Way Elements.

27-1817(k), whether publicly dedicated or privately held.

- b. Public Use. All streets shall be available for public use at all times. Gated streets and streets posted as private are not permitted.
- (4) Master Plans. Refer to any adopted City of Billings master plans for additional information, such as the current Bikeway and Trail Master Plan.
- (5) Street Construction Specifications. All construction in the right-of-way shall follow specifications defined by the Department of Public Works, Engineering Division.

(b) General Street Type Standards.

- (1) Street Types. Street Types defined in this section outline acceptable street configurations. New streets should be designed using the principles and characteristics defined by each Street Type. The Department of Public Works, Engineering Division, or the Montana Department of Transportation, as applicable (refer to Figure 27-1817(e)-2), may require additional right-of-way, pavement width, or additional street elements depending on specific site characteristics.
- (2) Summary Street Type Tables. Table 27-1817(f)-1 summarizes the requirements of each Street Type.
- (3) Graphics. The graphics provided, illustrating each Street Type, are samples of recommendations and illustrate only one possible configuration of that Street Type. By applying the guidelines outlined and working with the Department of Public Works, Engineering Division, other configurations can be determined acceptable.
- (4) Typical Street Elements. Typical elements of a vehicular right-of-way are divided into the vehicular and pedestrian realm. Each Street Type detailed in this article outlines which facilities are applicable. Refer to Figure 27-1817(b)-1: Typical Right-of-Way Elements.
 - a. Vehicular Realm. The vehicular realm is comprised of the travel lanes, bicycle lanes, and parking lanes.
 - b. Pedestrian Realm. The pedestrian realm is comprised of pedestrian facilities, such as sidewalk, path/trail, or off-street bicycle path. A buffer area that serves to

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buffer pedestrians or bicyclists from the movements of higher speed vehicles in the vehicular realm shall consist of one of the following:

- i. **Landscape Zone.** A landscape area between the back of curb to the sidewalk in which street trees, stormwater swales, lighting, and signage may be located. Typically used adjacent to residential ground floor uses.
- ii. **Furnishings Zone.** A hardscape area that extends from the sidewalk to the back of curb, in which street trees, street furniture, lighting, and signage may be located. Typically used adjacent to commercial or office ground floor uses.

(5) **Bicycle Facilities.** The following types of bicycle accommodations are permitted in the vehicular realm. Refer to Figure 27-1817(b)-2.

- a. **Dedicated Bicycle Lane.** Dedicated bicycle lanes are striped lanes on the outside of the outermost travel lanes that are designated for only bicycle use. This lane occurs on both sides of the street and shall be four (4) to five (5) feet wide.
- b. **Designated Shared Lane.** A designated shared lane is a lane that is shared between vehicles and bicycles. This lane is typically wider than a standard vehicular lane, minimum thirteen (13) feet, in order to accommodate both types of users, and includes a painted

bicycle marker combined with a double arrow (known as a "sharrow"). This improvement occurs on both directions.

- c. **Shared Lane.** A shared lane refers to a street that does not have bicycle lanes or a designated shared lane, but the speed and configuration of the street is such that bicycles could comfortably share lanes with traffic.
- d. **Cycle Track.** A cycle track is a separate on-road bike facility that is typically adjacent to, but physically separated from, vehicular traffic and parking by a barrier.

(6) **Vehicular On-Street Parking.** On-street parking, as permitted on designated Street Types, must meet the following requirements.

- a. Parallel and back-in diagonal parking is permitted on designated Street Types.
- b. **Vehicular On-Street Parking Space Dimensions.**
 - i. The appropriate stall depth for back-in diagonal on-street parking spaces are defined for each Street Type (refer to BMCC Sec. 27-1817(g) through (k)).
 - ii. The width of an on-street parking space shall be measured from the center of a stripe, minimum eight and a half (8.5) feet, unless otherwise noted.
 - iii. Back-in diagonal on-street parking shall be at sixty (60) degrees.

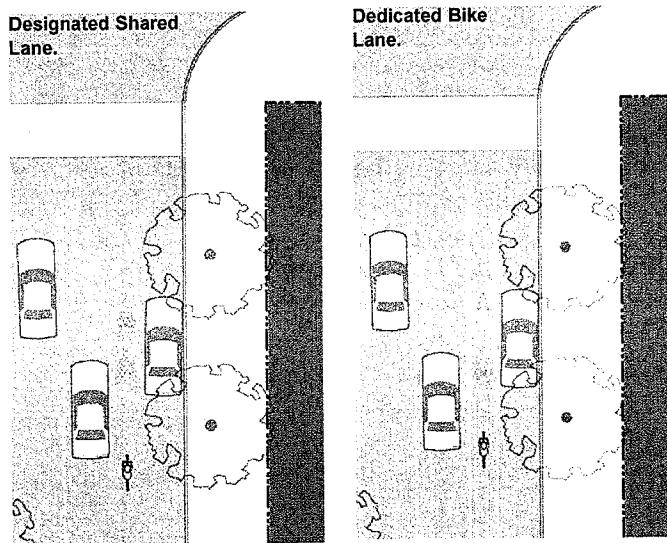


Figure 27-1817(b)-2: On-Street Bicycle Facilities.

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(7) Stormwater Management. Incorporation of stormwater management best practices into the right-of-way design is encouraged, such as incorporating drainage swales into the landscape zone or permeable paving in the parking lane. Refer to Figure 27-1817(b)-4 and the City's Stormwater Management Manual.

(8) Street Trees. Street trees are required along all street frontages, refer to BMCC Sec. 27-1815(e). Street trees shall be located in either a Landscape Zone (within a planting bed or lawn) or a Furnishings Zone (in trees wells with grate as required), refer to BMCC Sec. 27-1817(b)(4)b.

(c) General Street Layout Requirements. The following standards apply to new streets or newly platted vehicular rights-of-way.

(1) Interconnected Street Pattern. The network of streets shall form an interconnected pattern with multiple intersections with the following features:

- Street Network. The arrangement of streets shall provide for the continuation of existing streets from adjoining areas into new subdivisions or developments.
- Block Pattern. To the maximum extent possible, the existing block pattern shall be continued and reinforced, and the following encouraged:
 - Avoid the closure of existing streets so as to maintain the existing network.
 - As railway tracks are abandoned or larger sites redevelop, new streets should be introduced to extend the

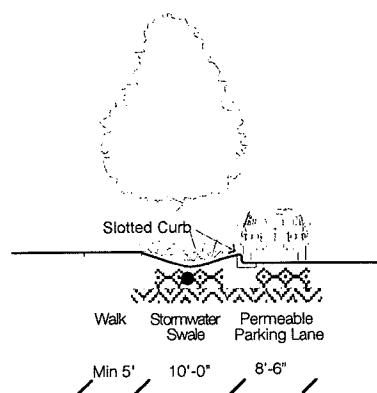


Figure 27-1817(b)-4. Stormwater Management Best Practices incorporated in the Right-of-Way.

existing pattern, incorporating the existing block sizes.

- Bulb shaped cul-de-sac streets are not permitted.
- New deadends should be avoided.

(d) Intersection Design. The following section outlines the regulations for developing and reconstructing intersections.

- Applicability. The regulations outlined in this section shall apply to all planned intersections and may serve as guidance for reconfiguration of existing intersections.
- Curb Radii. The following curb radii shall be utilized unless otherwise authorized by the Department of Public Works, Engineering Division.
 - Intersections should be designed for actual turning radius of the typical design vehicle as opposed to the maximum design vehicle. Small curb radii at intersections shorten pedestrian crossing distances and reduce vehicle turning speeds, thereby balancing the ease of travel of the vehicles and pedestrians. Refer to Figure 27-1817(d)-1.
 - Alley, Neighborhood, and Connector Streets. At the intersection of any street with an Alley, Neighborhood, or a Connector Street, the following curb radii shall be utilized.
 - With on-street parking on both streets and no bulb-out, a five (5) foot radius is required.

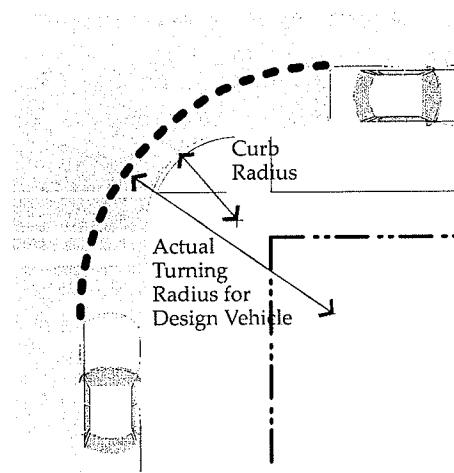


Figure 27-1817(d)-1. Actual Right Turn Radius with On-Street Parking.

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- ii. Without on-street parking, a fifteen (15) foot radius is required.
- c. Avenues and Boulevards. At the intersection of Avenues with either another Avenue or a Boulevard, the following curb radii shall be utilized.
 - i. With on-street parking on both streets and no bulb-out, a twelve (12) foot radius is required.
 - ii. Without on-street parking on either streets, a twenty five (25) foot radius is required.
- d. Larger Radius. When the design vehicle requires a larger curb radius, a larger radius may be utilized with approval of the Public Works, Engineering Division.

(4) Crosswalks. Crosswalks shall be required at all intersections involving Montana Avenue, N 20th Street, and N 13th Street.

- a. Dimensions. Crosswalks shall be minimum eight (8) feet in width, measured from mid-stripe to mid-stripe, per City standards.
- b. Markings. Crosswalks shall be appropriately indicated on the finished street surface with painted markings and/or textured or colored pavement.
- c. Crossing Distances. To encourage pedestrian activity, typical crosswalks shall not extend over thirty-eight (38) feet without a landscape median, bulb-outs, and/or other pedestrian refuge to mitigate the effects of vehicular traffic on crossing and increase pedestrian safety and comfort.
- d. Bulb-outs. To shorten pedestrian crossing distances, bulb-outs should be utilized at all intersections, unless otherwise required by the Department of Public Works or the Montana Department of Transportation as applicable (refer to Figure 27-1817(e)-2 for State Maintained Routes).
 - i. The depth of the bulb-out shall match the utilized on-street parking, either the width of the parallel space or the depth of the diagonal space.
 - ii. The radius of the bulb-out shall match the requirements for the intersection. Refer to BMCC Sec. 27-1817(d).

(5) Accessible Ramps and Warning Panels. Accessible ramps and warning panels, per the American Disabilities Act or any more stringent state requirement, are required where all sidewalks or trails terminate at a crosswalk or curb.

- a. Ramp Orientation. Ramps should be generally oriented perpendicular to traffic, requiring two (2) ramps per corner at intersecting streets.

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- (e) Maps of Street Types. Refer to the maps on the following pages.
 - (1) Street Type Map. Refer to Figure 27-1817(e)-1. To provide context for any future platted rights-of-way and guidance for future improvements to existing rights-of-way, existing streets within EBURD are mapped in accordance with the Street Types outlined in BMCC Sec. 27-1817(g) through 27-1817(k).
 - (2) State Maintained Routes. For reference purposes only, a map of routes currently maintained by the State Department of Transportation is included. Refer to Figure 27-1817(e)-2.
 - (3) Primary Street Map. Refer to Figure 27-1817(e)-3.
 - a. Primary Streets are defined as the higher priority street at an intersection, designating the front property line as well as establishing the higher level of pedestrian orientation with limited sidewalk interruptions from driveways.
 - b. At the intersection of any two streets, the street with the highest level designation is considered the Primary Street. For example, at the intersection of 2nd Avenue N and N 19th Street, N 19th Street is designated as Street 1, a higher priority street, and is therefore the Primary Street. The front property line of a building on this corner would be on N 19th Street.
 - c. When a corner is located at the intersection of two streets of the same priority level, either street may be chosen as the Primary Street.

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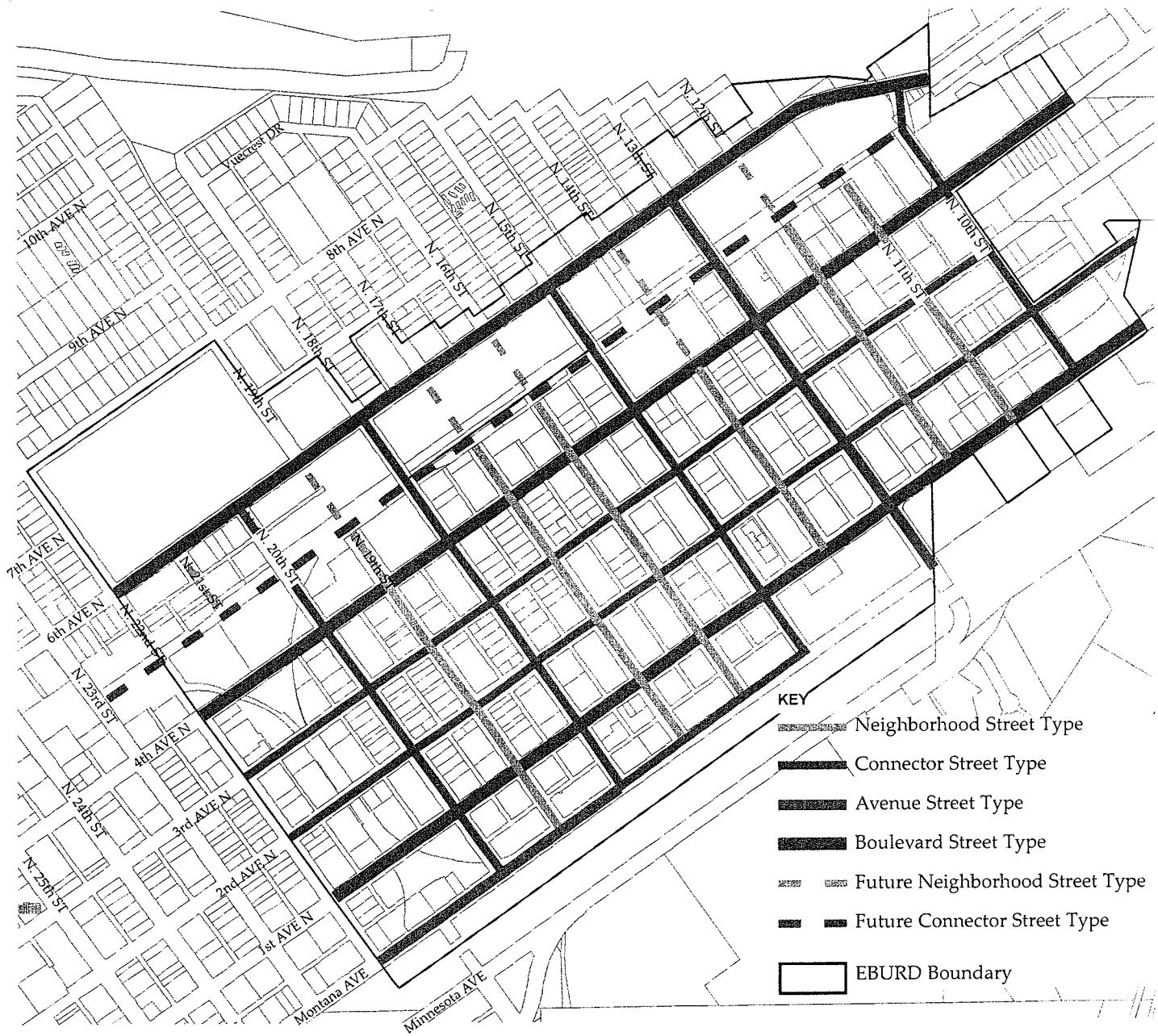


Figure 27-1817(e)-1: Map of Street Types.

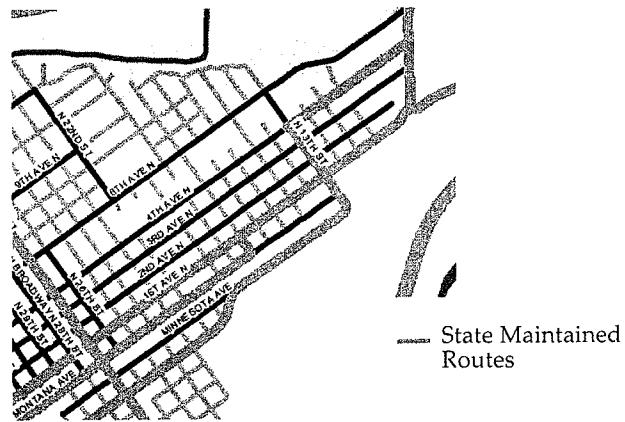


Figure 27-1817(e)-2. Map of State Maintained Routes as of February 2012, for Reference Only..

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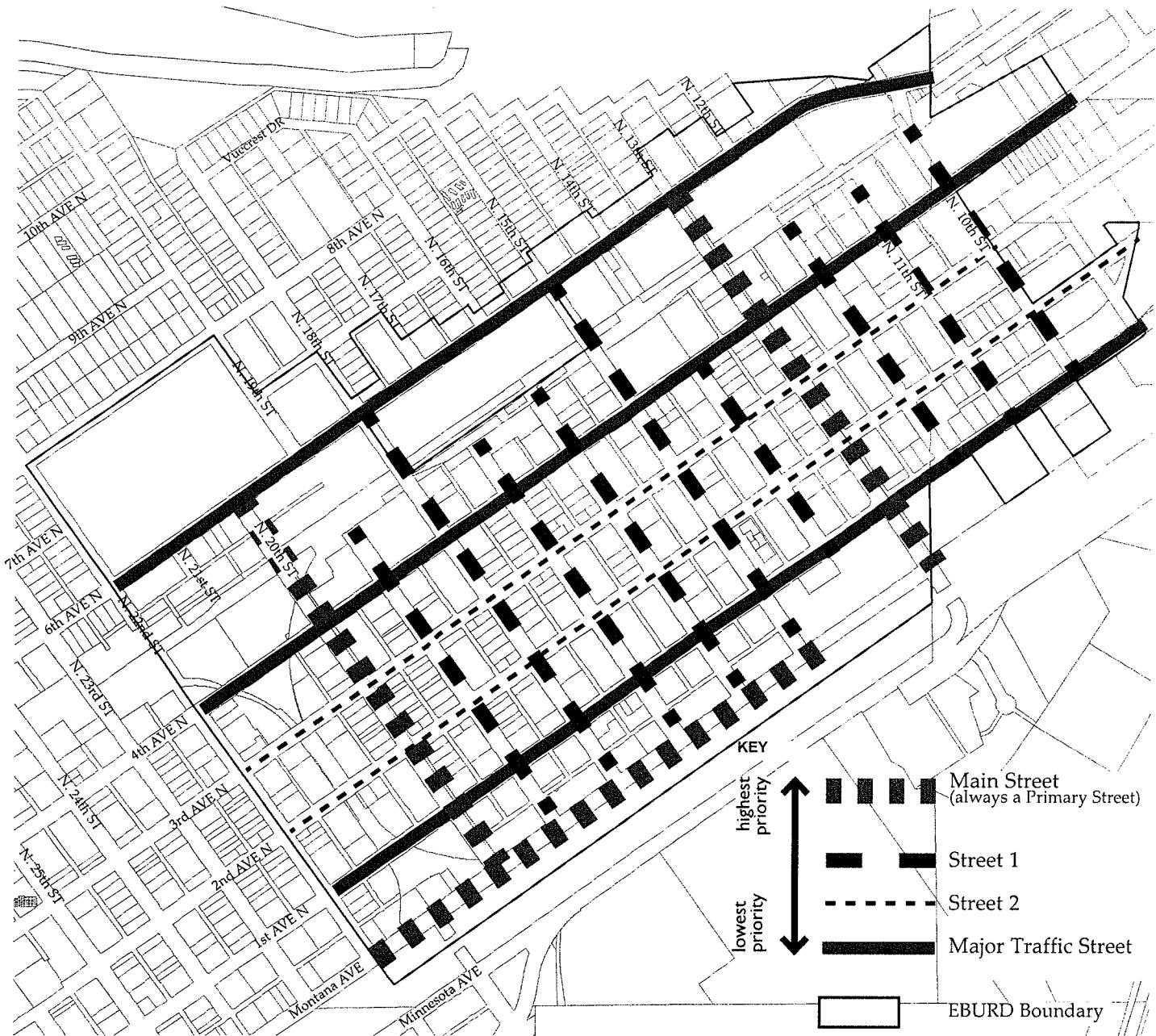


Figure 27-1817(e)-3: Map of Primary Street Priority.

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Vehicular Realm						
	Typical Right-of-Way Width (feet)	Travel Lanes	Lane Width (feet)	Allowable Turn Lanes	Parking Lanes	Pavement Width (feet) Back of Curb to Back of Curb
Alley	20'	1 yield lane	16' (yield)	None	Prohibited	Minimum 16', Maximum 20'
Neighborhood Street	80'	1 yield lane	20' (yield)	None	Parallel or back-in diagonal both sides	37'-48'
Connector	80'	1 lane in each direction	11'	Permitted in place of parking at intersections	Parallel or back-in diagonal both sides	39'-52'
Avenue	80'	Per the Department of Public Works, Engineering Division, or Montana Department of Transportation	12'	Permitted in place of parking at intersections	Parallel or back-in diagonal both sides	41'-54'
Boulevard	80'	Per the Department of Public Works, Engineering Division, or Montana Department of Transportation	11'	Permitted in place of parking at intersections	Both sides, parallel only	50'-60'

Table 27-1817(f)-1: Street Type Summary Table.

(f) Street Type Summary Table.

- (1) Refer to Table 27-1817(f)-1 for a summary table of all Street Types requirements defined in 27-1817(g) through 27-1817(k).

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Vehicular Realm			Pedestrian Realm	
Curbs	Permitted Median	Bicycle Facilities	Pedestrian Facilities	Buffer
None, ribbon or vertical	Prohibited	Shared	Shared	None required
Vertical	Prohibited	Shared	Minimum 5' wide clear sidewalk on both sides	Minimum 11' wide planting zone or furnishings zone, both sides
Vertical	Permitted	Shared, Designated Shared, Dedicated, or Cycle Track	Minimum 5' wide clear sidewalk on both sides	Minimum 9' wide planting or furnishings zone, both sides
Vertical	Permitted	Designated Shared, Dedicated, or Cycle Track	Minimum 5' wide clear sidewalk on both sides	Minimum 8' wide planting zone or furnishings zone, both sides
Vertical	Permitted	Designated Shared, Dedicated, or Cycle Track	Minimum 5' wide clear sidewalk on both sides	Minimum 5' wide planting zone or furnishings zone, both sides

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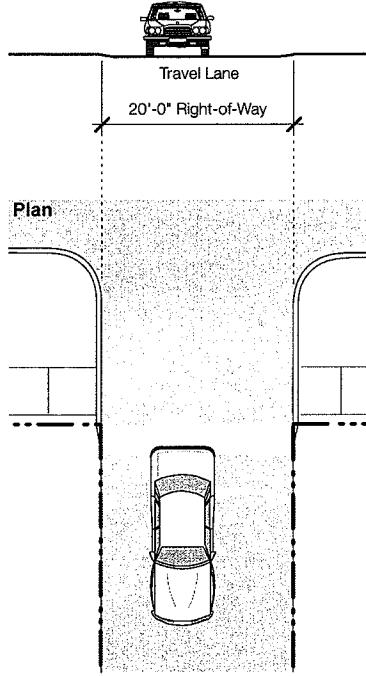
(g) Alley.

(1) Intent. The Alley is a very low capacity drive located at the rear of parcels. From the Alley, access to parking facilities, loading facilities, and service areas, such as refuse and utilities is possible without a curb cut or driveway interrupting a Street Type. Refer to the typical plan and section in Figure 27-1817(g)-1.

(2) General Requirements. Alleys shall be developed using the guidelines in Table 27-1817(g)-1.

a. The Department of Public Works, Engineering Division, may require additional right-of-way, pavement width, or street elements depending on specific site characteristics.

Section



Alley Guidelines

Location	Permitted adjacent to all Zoning Districts
Typical Right-of-Way Width	20'

a. Vehicular Realm

Travel Lanes	1 yield lane
Lane Width	Minimum 16' (two way yield lane)
Allowable Turn Lanes	Not applicable
Parking Lanes	Not applicable
Pavement Width	Minimum 16' Maximum 20'
Curbs	None, ribbon, or vertical
Median	Prohibited
Bicycle Facilities ¹	Shared

b. Pedestrian Realm

Pedestrian Facilities	Shared; travel lanes are shared among drivers, pedestrians and bicyclists
Buffer	None required

¹ Reference BMCC Sec. 27-1817(c)(5) for bicycle facility types and requirements

Figure 27-1817(g)-1: Typical Sample Alley.

Table 27-1817(g)-1: Alley Guidelines.